

RESOLUTION R- 179

**RESOLUTION OF THE TOWNSHIP OF LIVINGSTON
TO AUTHORIZE ENTERING INTO AN EASEMENT AGREEMENT
WITH THE OWNERS OF 15 SURREY LANE**

WHEREAS, Mr. and Mrs. Alan Hammer of 3 Fawn Drive, purchased the adjacent lot on 15 Surrey Lane on which they have constructed retaining walls, stairs and pavers over the Township easement containing a storm sewer pipe and sanitary sewer pipe; and

WHEREAS, the residents constructed these structures without Township approval; and

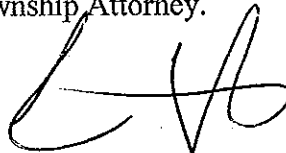
WHEREAS, the residents are now seeking relief by entering into an Easement Agreement with the Township indicating that should the Township need access to the easement area they would remove the structures at their expense; and

WHEREAS, the Township Engineer has inspected the property and indicates he does not have an objection to the Township entering into an Easement Agreement and this arrangement is further support by the Township Manager.

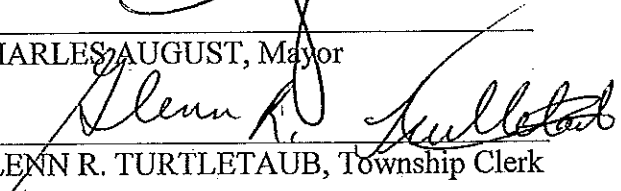
NOW, THEREFORE, BE IT RESOLVED, by the Township Council of the Township of Livingston, in the County of Essex, State of New Jersey as follows:

The Township of Livingston agrees to enter into an Easement Agreement with Alan and Susan Hammer of 3 Fawn Drive with a stipulation that if the Township needs access to the easement area, they would remove the structures.

BE IT FURTHER RESOLVED: That the Township Manager is authorized to execute the Easement Agreement in a form acceptable to the Township Attorney.

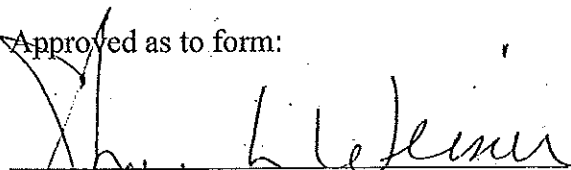


CHARLES AUGUST, Mayor



GLENN R. TURTLETAUB, Township Clerk

Approved as to form:


SHARON L. WEINER, Township Attorney

Adopted: 6/15/09